

© Crown copyright and database rights 2017 Ordnance Survey 100023408.

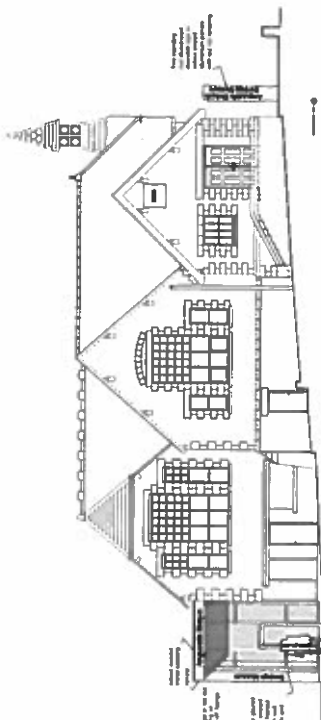
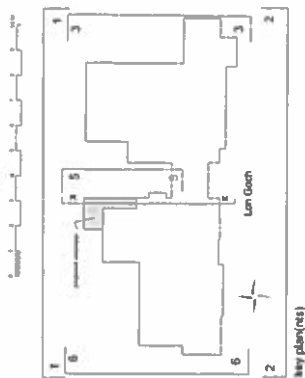
01/2017/0901 & 01/2017/0902

Scale: 1:1250

Printed on: 24/11/2017 at 13:13 PM

PROPOSED ELEVATION PLANS

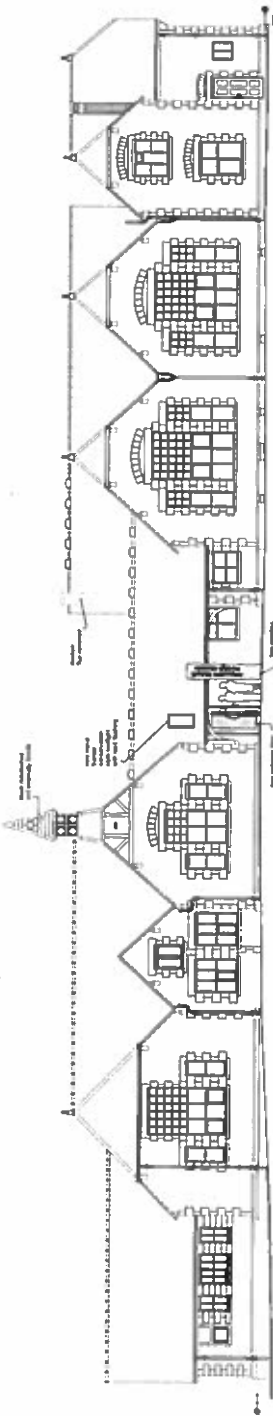
Adrian Jones Associates
 1131 St. ...
 Extension to Daragh Museum
 Proposed Elevations
 and Section
 2111
 1:100 @ A1
 ALD/05



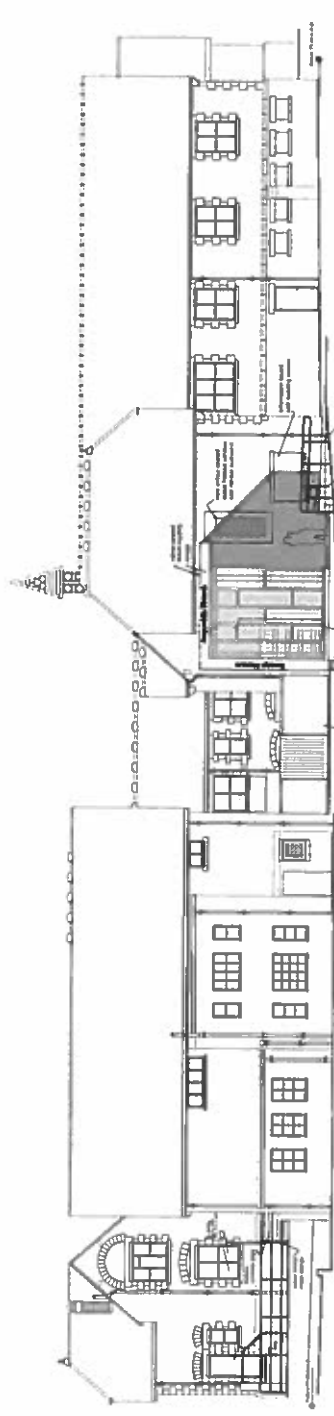
5. east elevation as proposed

> EXTENSION <

6. west elevation as proposed

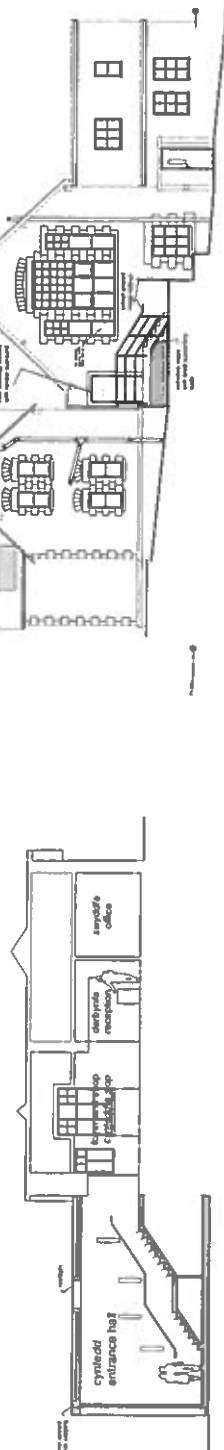


2. south elevation as proposed



1. north elevation as proposed

> EXTENSION <



section X-X

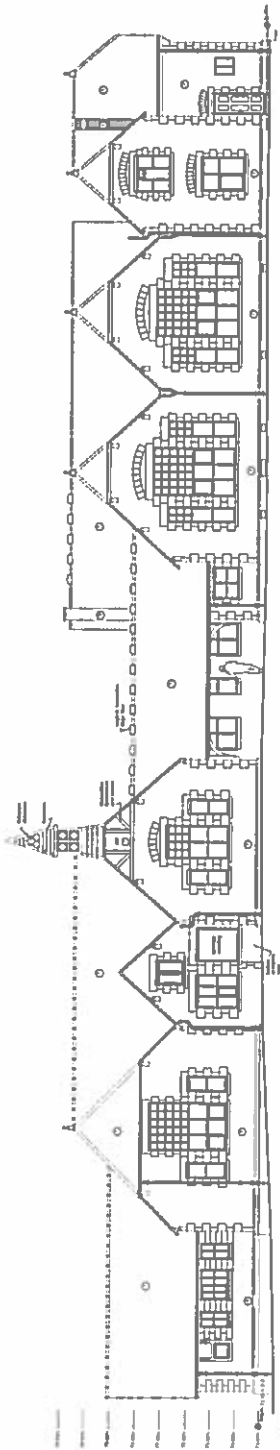
3. east elevation as proposed

EXISTING ELEVATION PLANS



Notes

- 1. Existing walls and roof structure shown in solid lines
- 2. Proposed walls and roof structure shown in dashed lines
- 3. Proposed walls and roof structure shown in dotted lines
- 4. Proposed walls and roof structure shown in long-dashed lines
- 5. Proposed walls and roof structure shown in short-dashed lines
- 6. Proposed walls and roof structure shown in dash-dot lines
- 7. Proposed walls and roof structure shown in long-dash-dot lines
- 8. Proposed walls and roof structure shown in short-dash-dot lines
- 9. Proposed walls and roof structure shown in long-dash-dot-dot lines
- 10. Proposed walls and roof structure shown in short-dash-dot-dot lines
- 11. Proposed walls and roof structure shown in long-dash-dot-dot-dot lines
- 12. Proposed walls and roof structure shown in short-dash-dot-dot-dot lines
- 13. Proposed walls and roof structure shown in long-dash-dot-dot-dot-dot lines
- 14. Proposed walls and roof structure shown in short-dash-dot-dot-dot-dot lines
- 15. Proposed walls and roof structure shown in long-dash-dot-dot-dot-dot-dot lines
- 16. Proposed walls and roof structure shown in short-dash-dot-dot-dot-dot-dot lines
- 17. Proposed walls and roof structure shown in long-dash-dot-dot-dot-dot-dot-dot lines
- 18. Proposed walls and roof structure shown in short-dash-dot-dot-dot-dot-dot-dot lines
- 19. Proposed walls and roof structure shown in long-dash-dot-dot-dot-dot-dot-dot-dot lines
- 20. Proposed walls and roof structure shown in short-dash-dot-dot-dot-dot-dot-dot-dot lines

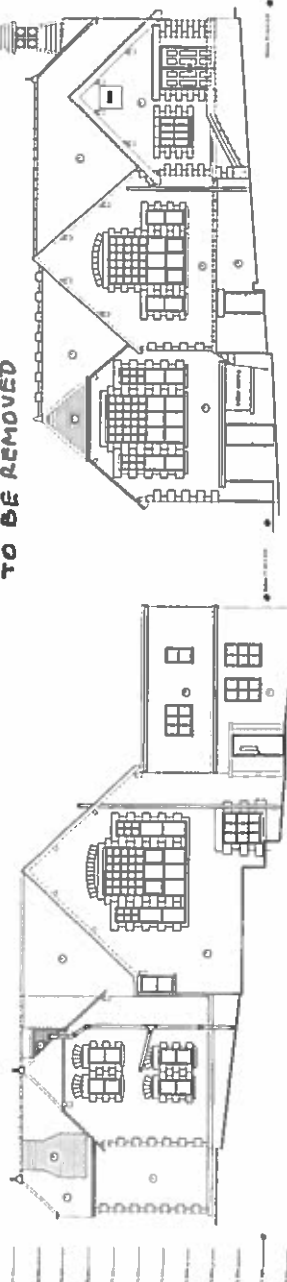


elevation 1 - south - Len Goch



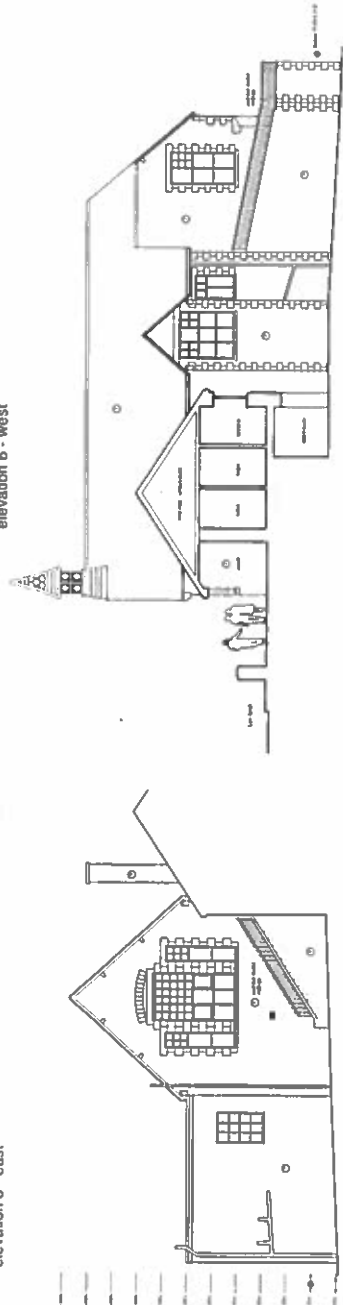
elevation 2 - north - car park

**STAIRWAYS
TO BE REMOVED**



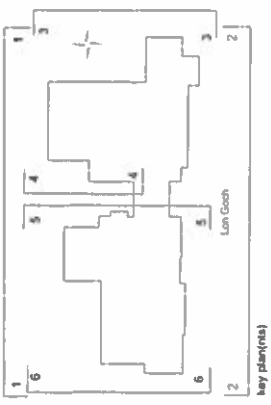
elevation 3 - east

elevation 6 - west



elevation 4 - east

elevation / section 5



Adrian Jones Associates
 21511
 1:100 @ A1
 Elevation to Derragh Museum
 Etruscan / Argusville Derragh
 Elevations and Section as Existing

Project	21511
Client	AL(p)03
Scale	1:100 @ A1
Author	AL(p)03
Check	
Drawn	
Approved	

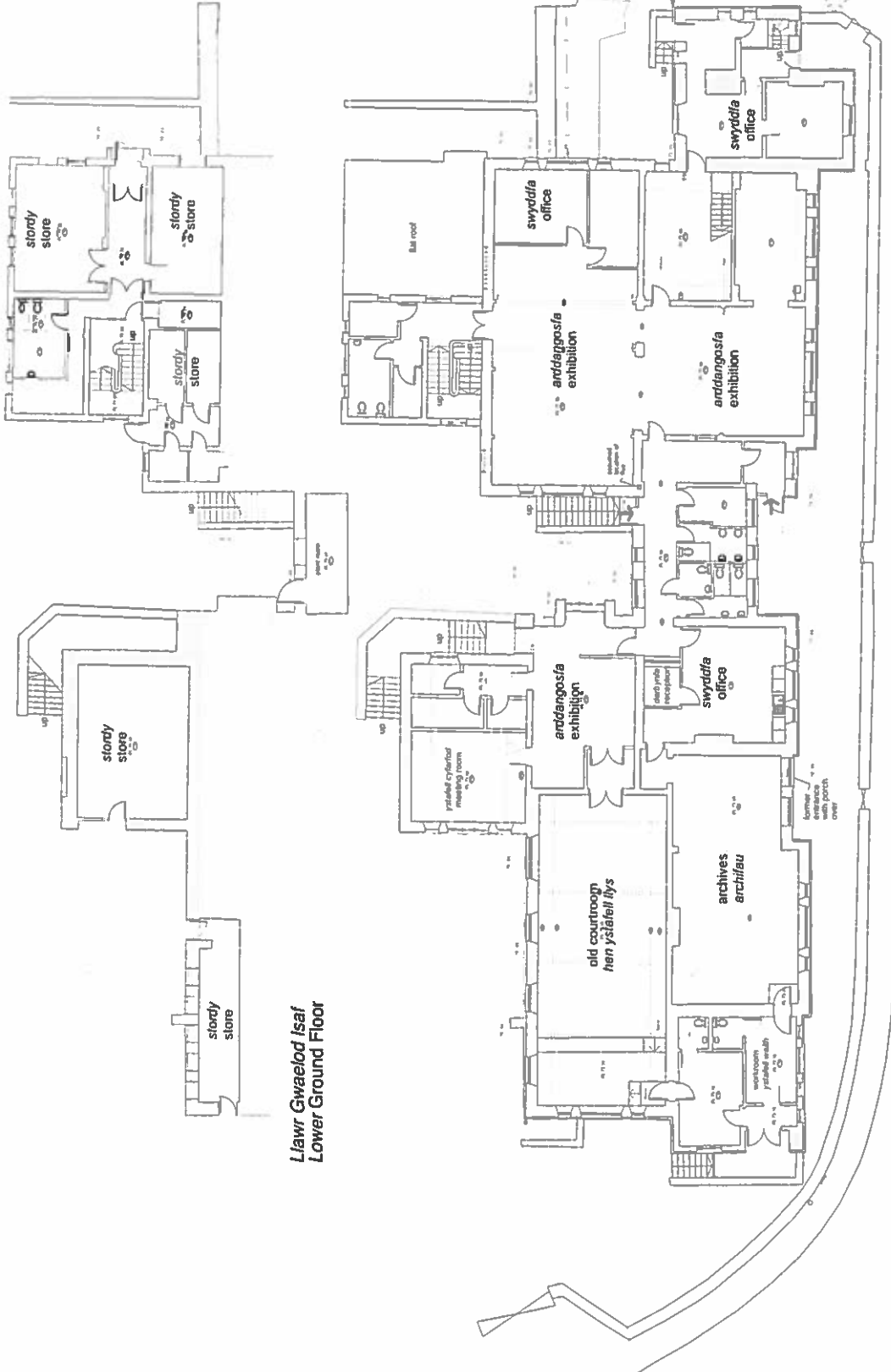
EXISTING FLOOR PLANS



see drawing AL/D101 for roof plan

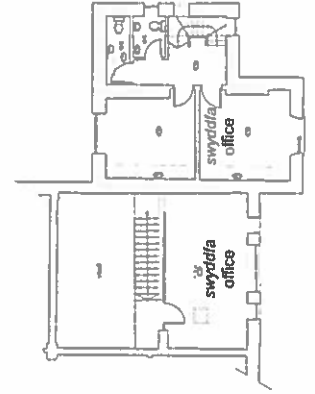
Construction Phases

- 1875 - 1877 Mary's School and Master's House
Lloyd Williams - Architect
- 1875 - 1877 Girls School
Lloyd Williams - Architect
- 1890s New Classroom and steps
- mid 20C (pre 1969) Flat roof extension
- 1968 Conversion to Magistrates Court
- uncertain



Llawr Gwaelod Isaf
Lower Ground Floor

Llawr Gwaelod
Ground Floor



Llawr Uchaf
Upper Floor

Adrian Jones Associates

Client	AL/D102
Project	Extension to Derbyshire Museum
Location	Elywadd / Arngwâlfa, Derbyshire
Scale	1:100 @ A1
Date	21/11/13
Drawn by	AL/D102
Checked by	
Approved by	

SITE PLAN

Adrian Jones Associates
 Planning & Design
 1000 E. 10th Street
 Derby, Colorado 80202
 Phone: 303.440.1111
 Fax: 303.440.1112
 Email: info@adrianjones.com
 Website: www.adrianjones.com

Location Plan, Existing and Proposed Site Plans

Project: Extension to Darbhagh Museum
 Elywood / Anguankola, Derbych

Scale: 1:200 @ A1
 1:1000 @ A1
 Drawing: AL(001)

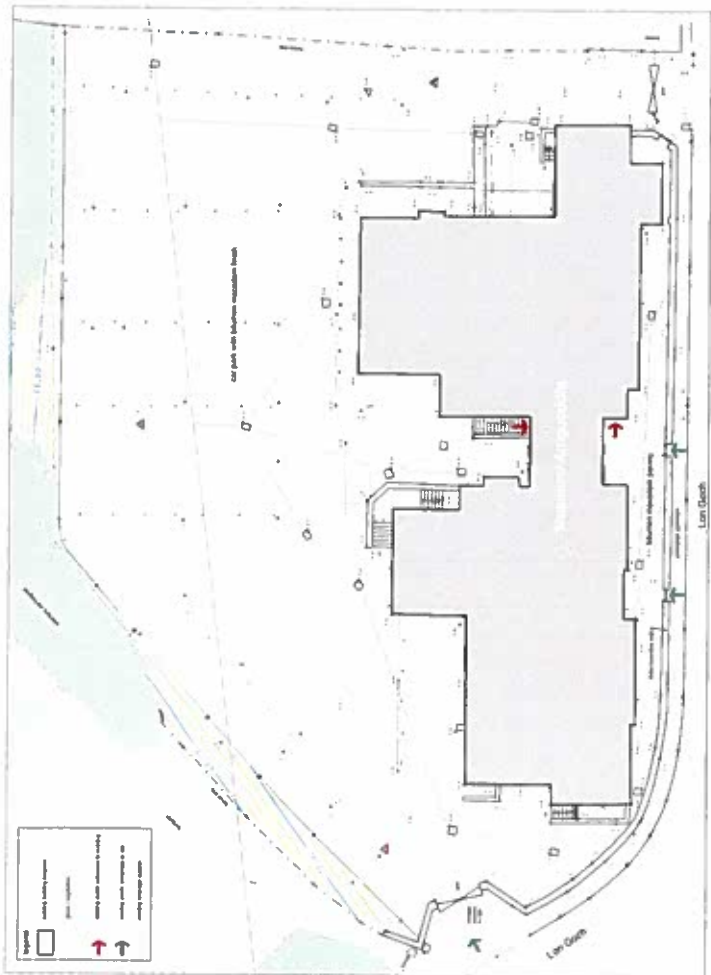
Date: 21.11.11



Site Plan 1: 200 as proposed



Site Location Plan 1: 1000



Site Plan 1: 200 as existing



Aerial Photograph

WARD : Denbigh Central

WARD MEMBER(S): Cllr Gwyneth Kensler (c)

APPLICATION NO: 01/2017/0901/ PF

PROPOSAL: Alterations and extension to form new entrances together with ancillary works including new signage and demolition of external stairs

LOCATION: Denbigh Museum Grove Road Denbigh

APPLICANT: Cllr Gwyneth Kensler

CONSTRAINTS: C2 Flood Zone PROW Conservation Area Article 4 Direction

PUBLICITY UNDERTAKEN: Site Notice - No
Press Notice - No
Neighbour letters - Yes

REASON APPLICATION REPORTED TO COMMITTEE:
Scheme of Delegation Part 2

- Application submitted by / on behalf of County Councillor

CONSULTATION RESPONSES:
DENBIGH TOWN COUNCIL
"No objections".

RESPONSE TO PUBLICITY: None.

EXPIRY DATE OF APPLICATION: 13/11/2017

EXTENSION OF TIME AGREED TO 13/12/2017

REASONS FOR DELAY IN DECISION (where applicable):

- awaiting consideration by Committee

PLANNING ASSESSMENT:

1. THE PROPOSAL:

1.1 Summary of proposals

1.1.1 The application seeks consent for alterations and extensions to the museum building to create a new entrance into the building off the existing parking area, together with ancillary works including new signage and demolition of two external stairways.

1.1.2 The works are proposed to improve the accessibility of the building for all users and to adapt the existing spaces to create a coherent and attractive visitor route into and through the museum.

1.1.3 The external works proposed consist of the following elements:

- Demolition of existing external stairways to the rear of the building, and erection of a replacement extension to the rear to create a new entrance lobby. The entrance would be a metal framed structure with floor to ceiling glazing to the front and sides.

- Formation of a ramp with railings leading to the new entrance to the rear of the building, and formation of steps and additional railings at the western end of the rear elevation.
- Formation of a new entrance door to the front elevation with quined reveals.
- Insertion of new conservation style rooflight with lead flashing in a front roof pitch above the proposed new entrance door.
- Free standing non illuminated monolith sign to be installed to the front of the entrance in the front elevation.

1.2 Description of site and surroundings

1.2.1 Denbigh museum is situated along Lon Goch in Denbigh with vehicular access along the western boundary and car parking to the rear.

1.2.2 The museum occupies a building originally constructed as a school in the nineteenth century. It has been subsequently extended. It was more recently used as a Magistrates court and Denbigh Museum has been located at the site for the past three years.

1.3 Relevant planning constraints/considerations

1.3.1 The site is within the Denbigh development boundary as defined in the Local Development Plan and is within the Denbigh Conservation Area.

1.4 Relevant planning history

1.4.1 Permission was granted in 1985 to remodel the building and convert into a Magistrates court.

1.4.2 An associated conservation area consent application seeking approval for the demolition of the external stairway has also been referred to Planning Committee for consideration. This is application 01/2017/0902 which follows on the agenda.

1.5 Developments/changes since the original submission

1.5.1 None.

1.6 Other relevant background information

1.6.1 Separate advertisement consent would be required for the proposed free standing non illuminated monolith sign due to the area of the signage exceeding 1.2m.

2. **DETAILS OF PLANNING HISTORY:**

2.1 1/7864. Erection of room and toilets & remodel of school to form 2 courts and offices. Granted 18/12/1985

2.2 01/2017/0902. Conservation Area Consent for the demolition of external stairs. Pending determination

3. **RELEVANT POLICIES AND GUIDANCE:**

The main planning policies and guidance are considered to be:

3.1 Denbighshire Local Development Plan (adopted 4th June 2013)

Policy RD1 – Sustainable development and good standard design

Policy BSC12 – Community facilities

Policy VOE1 - Key areas of importance

3.2 Supplementary Planning Guidance
Conservation Areas SPG

3.3 Government Policy / Guidance

Planning Policy Wales (Edition 9) November 2016

Development Control Manual November 2016

Technical Advice Note 24: The Historic Environment - May 2017

Planning (Listed Buildings and Conservation Areas) Act 1990

3.4 Other material considerations

4. MAIN PLANNING CONSIDERATIONS:

In terms of general guidance on matters relevant to the consideration of a planning application, Planning Policy Wales Edition 9, 2016 (PPW) confirms the requirement that planning applications 'should be determined in accordance with the approved or adopted development plan for the area, unless material considerations indicate otherwise' (PPW section 3.1.3). PPW advises that material considerations must be relevant to the regulation of the development and use of land in the public interest, and fairly and reasonably relate to the development concerned (PPW section 3.1.4).

Development Management Manual 2016 states that material considerations can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment (DMM section 9.4).

The following paragraphs in Section 4 of the report therefore refer to the policies of the Denbighshire Local Development Plan, and to the material planning considerations which are considered to be of relevance to the proposal.

4.1 The main land use planning issues in relation to the application are considered to be:

4.1.1 Principle

4.1.2 Visual amenity / impact on Conservation Area setting

4.2 In relation to the main planning considerations:

4.2.1 Principle

Policy RD1 states that development proposals within development boundaries will be supported subject to compliance with detailed criteria. Policy BSC12 provides general support for proposals for community facilities within development boundaries.

The proposal is for alterations and extensions to the existing museum building to improve accessibility of the building for all users, and to improve the visitor experience.

The proposal is therefore considered to be acceptable in principle. Assessment of detailed impacts are set out in the remainder of this report.

4.2.2 Visual amenity / impact on Conservation Area setting

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development;

test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside;

test (vi) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines;

test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context..

Planning Policy Wales 3.1.4 confirms visual amenity impacts of a development proposal are a material consideration.

Local Development Plan Policy VOE1 seeks to protect sites of built heritage from development which would adversely affect them, and requires that development proposals should maintain and wherever possible enhance them for their characteristics, local distinctiveness and value to local communities.

Planning Policy Wales 6.5.9 states there should be a general presumption in favour of the preservation or enhancement of the character or appearance of a conservation area or its setting.

The proposal involves minor extensions and alterations to the museum building to improve accessibility.

Whilst the main external stairway is of stone construction and appears to be an original feature, neither of the stairways are considered to be intrinsic to the character of the original building and as such the demolition is not considered to be detrimental to the visual amenity of the existing building, or to the character and appearance of the conservation area setting.

The proposed new entrance to the rear would be a flat roof extension with a concrete frame which would have a rendered finish and the front and side elevations would be formed by floor to ceiling glazing with colour coated metal frames. Whilst the new entrance is of a modern design which would contrast with the traditional stone construction of the original building, the design brief states it has been designed specifically to create a new highly visibly accessible entrance. There are already existing modern flat roof extensions to the rear of the building which are utilitarian in appearance and contribute little to the character of the original building. Officers therefore consider the proposed extension would not be detrimental to the character of the original building, and nor could it be considered to detrimentally impact on the character and appearance of the conservation area setting.

The other elements of the proposed works include the formation of a concrete ramp with railings leading to the new entrance lobby, new steps and railings to the rear elevation and formation of a new doorway with roof light above in the front elevation. These elements are considered to be minor in nature, and have been designed to be sympathetic to the character of the existing building.

Overall, Officers consider the proposed works have been designed to respect the character of the original building, and the proposal is not adjudged likely to adversely impact on the visual qualities of the building or to detrimentally impact on the character and appearance of the conservation area setting.

Other matters

Well – being of Future Generations (Wales) Act 2015

The Well-being of Future Generations (Wales) Act 2015 imposes a duty on the Council not only to carry out sustainable development, but also to take reasonable steps in exercising its functions to meet its sustainable development (or well-being) objectives. The Act sets a requirement to demonstrate in relation to each application determined, how the development complies with the Act.

The report on this application has been drafted with regard to the Council's duty and the "sustainable development principle", as set out in the 2015 Act. The recommendation takes account of the requirement to ensure that present needs are met without compromising the ability of future generations to meet their own needs. It is therefore considered that there would be no significant or unacceptable impact upon the achievement of well-being objectives as a result of the proposed recommendation.

5. SUMMARY AND CONCLUSIONS:

5.1 The proposal is considered to be acceptable and is recommended for grant.

RECOMMENDATION: GRANT- subject to the following conditions:-

1. The development to which this permission relates shall be begun no later than 13th December 2022.
2. The development hereby permitted shall be carried out in strict accordance with details shown on the following submitted plans and documents unless specified as otherwise within any other condition pursuant to this permission
 - (i) Planning and Heritage Impact Assessment (Drawing No. 21511/issue 2) - Received 14 September 2017
 - (ii) Existing Elevations and Sections (Drawing No. AL(p)03) - Received 14 September 2017
 - (iii) Existing Floor Plans (Drawing No. AL(p)02) - Received 14 September 2017
 - (iv) Proposed Elevations and Sections (Drawing No. AL(p)05) - Received 14 September 2017
 - (v) Proposed Floor Plans (Drawing No. AL(p)04) - Received 14 September 2017
 - (vi) Location Plan and Existing and Proposed Site Plans (Drawing No. AL(p)01) - Received 14 September 2017

The reasons for the conditions are:-

1. To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. For the avoidance of doubt and to ensure a satisfactory standard of development.